



Denny &
Salmond

Tanhouse Lane
Malvern



Property Description

Situated in a popular residential area and within walking distance to the vast amenities of Malvern Link to include, doctors surgery, shops, pubs, schools, train station and so much more. This detached three bedroom bungalow briefly comprises Entrance Porch, Entrance Hall, Kitchen, Living Room, Three Bedrooms and Shower Room. The property further benefits from double glazing throughout, gas central heating and beautifully maintained Rear Garden. With a Garage and driveway parking for several vehicles this property is offered for sale with no onward chain and is not to be missed.

Entrance Porch

Part glazed door opens to the Porch with tiled flooring and Entrance Door.

Entrance Hall

Part glazed entrance door opens to the Entrance Hall with doors off to all rooms, radiator and access to the lost space via hatch and ladder. Door to a large storage cupboard housing shelving.

Kitchen

Fitted with a range of base and eye level gloss fronted units with working surface and tiled splashback. One and a half stainless steel sink unit with drainer and 'Swan' neck mixer tap, four ring gas hob and double electric oven. Space and plumbing for a washing machine, further space for an additional undercounter appliance and space for a tall appliance. Large double glazed window to the side aspect, part glazed door opens to the side of the property and double glazed doors open to the rear Garden. Coving to ceiling, radiator, tile effect flooring, door to a large pantry cupboard and wall mounted Worcester Bosch combi Boiler. *All white goods are being left unless not wanted*.

Living Room

A spacious room with wood flooring throughout, coving to ceiling, radiator and doors to the Conservatory. Log effect gas fire with stone mantle, hearth and surround.

Conservatory

Upvc constructed conservatory on a brick base with wood effect flooring, radiator and power points. Double glazed windows to the rear and side aspects, double glazed patio doors opening to the rear gardens.

Bedroom One

Large double glazed bay window to the front aspect, radiator, coving to ceiling and doors to a fitted wardrobe housing hanging rail and shelving.

Bedroom Two

Double glazed window to the side aspect, radiator, coving to ceiling and wood flooring. Door to a fitted wardrobe housing hanging rail.

Bedroom Three

Double glazed window to the side aspect, radiator, wood paneling and wood effect flooring.

Shower Room

Fitted with a white suite comprising corner shower cubicle with glazed screen, tiled splashback and shower. Low flush WC and vanity sink unit with wash hand basin, mixer tap and cupboards below. Double glazed obscured window to the side aspect, wall mounted mirror cabinet and door to the airing cupboard housing shelving. Radiator, tiled flooring, extractor fan and wall mounted heater.

Outside

To the front of the property is paved parking for four vehicles with access to the Entrance Porch, Garage and Side access.

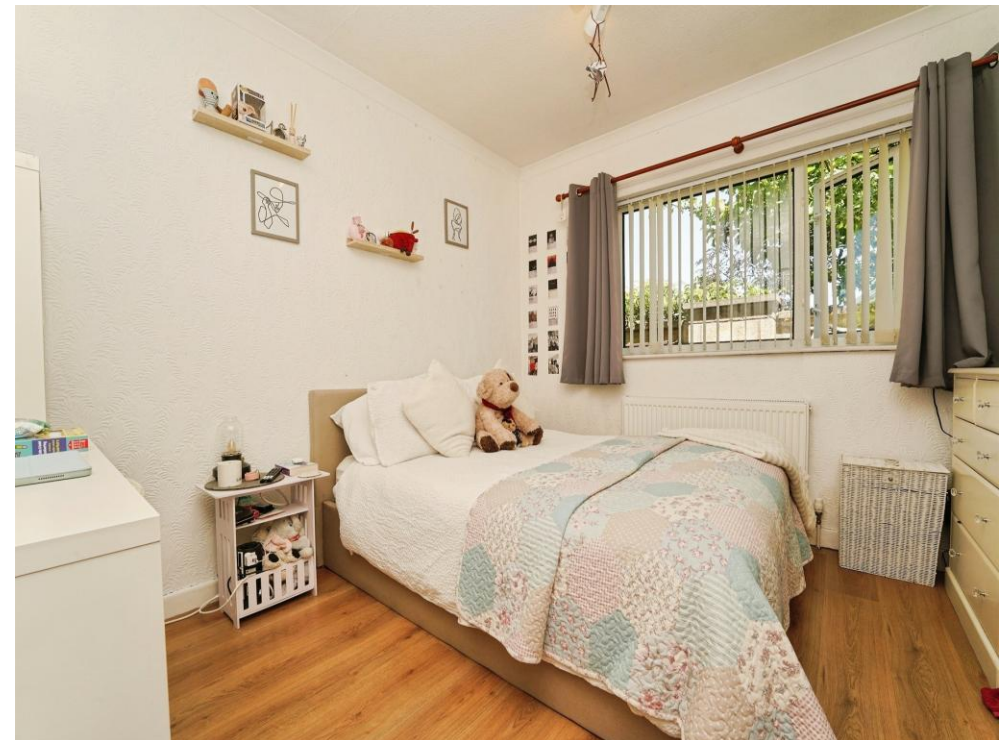
The Rear Garden is laid to lawn with raised flower filled beds, and a paved seating area adjoins to the property. A paved path leads to a further graveled seating area with timber shed and greenhouse with power and lighting. The well maintained garden is encompassed by timber fencing and brick wall with access to both sides of the property.

Garage

Electric and lighting.

Disclosure

Denny & Salmond has made every effort to ensure that measurements and particulars are accurate however prospective purchasers must satisfy themselves as to the accuracy of the information provided. No information with regard to planning use, structural integrity, services or appliances has been formally verified and therefore prospective purchasers are requested to seek validation of all such matters prior to submitting a formal offer to purchase the property.





First Floor

Total floor area 101.3 sq.m. (1,090 sq.ft.) approx

This floor plan is for illustrative purposes only. It is not drawn to scale. Any measurements, floor areas (including any total floor area), openings and orientation are approximate. No details are guaranteed, they cannot be relied upon for any purpose and they do not form part of any agreement. No liability is taken for any error, omission or misstatement. A party must rely upon its own inspection(s). Powered by www.focalagent.com



To view this property please contact Denny & Salmond on

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13a Worcester Road
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EPC Rating: C Council Tax
Band: D

view this property online dennysalmond.co.uk/Property/MVN100120

Tenure: Freehold



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